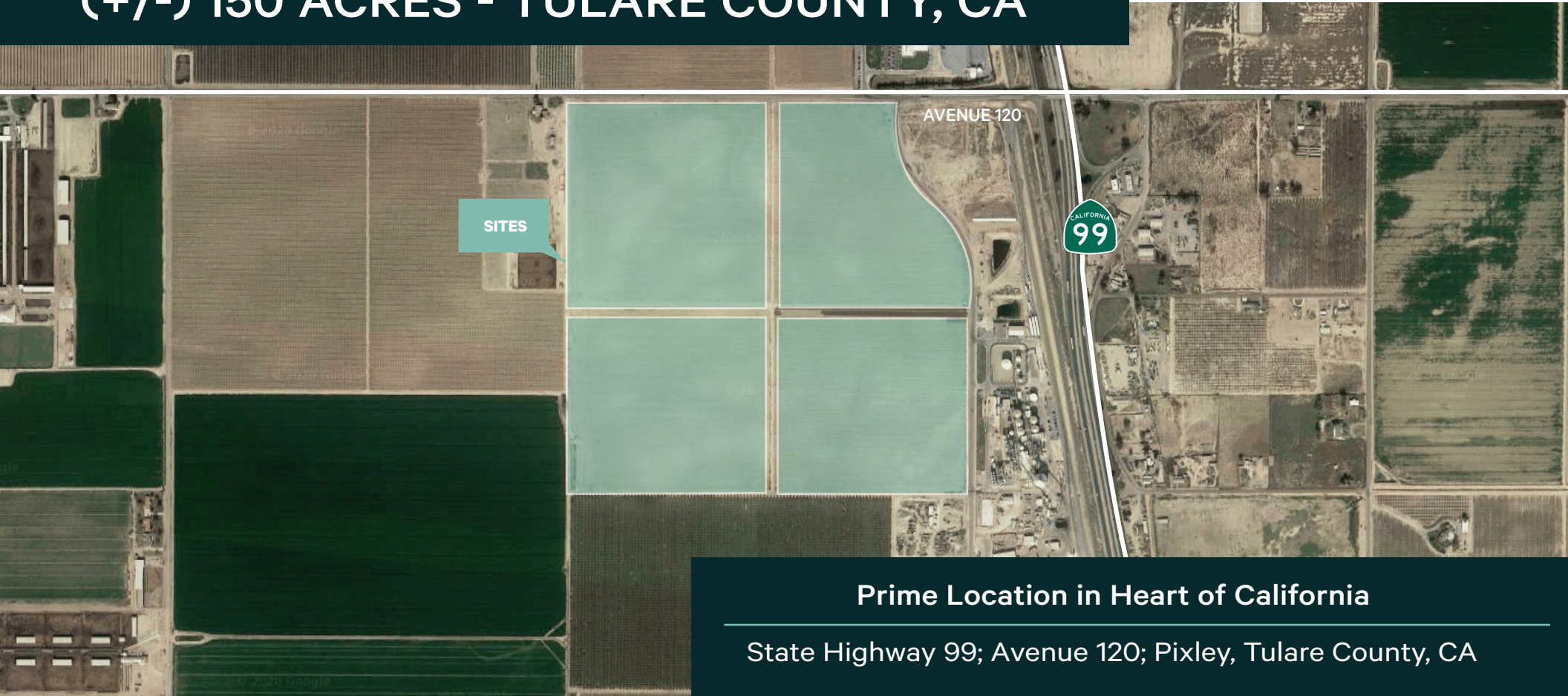


# DEVELOPMENT READY (+/-) 150 ACRES - TULARE COUNTY, CA



Prime Location in Heart of California

State Highway 99; Avenue 120; Pixley, Tulare County, CA

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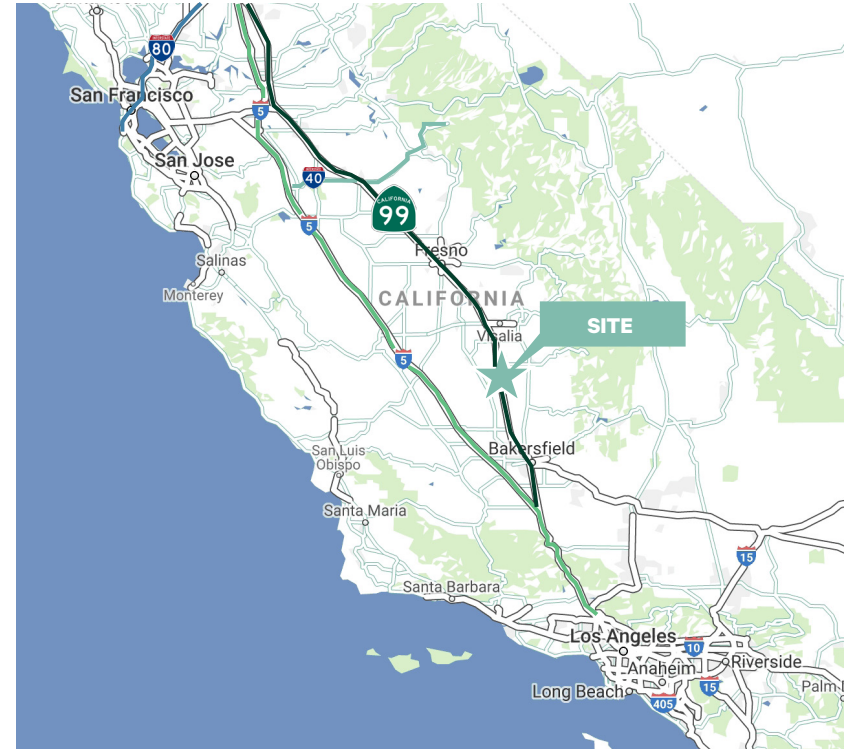
## PROPERTY PROXIMITY & HIGHLIGHTS

### Property Proximity

- + Located in Tulare County in central California.
- + Tulare (10 min), Porterville (20 min), Visalia (25 min) and Delano (20 min). Total population +325,000.
- + Access to 39 million people within a 10-hr. drive.
- + Adjacent to CA State Highway 99, this property ties to other state highways 46, 58, and 198 and interstate highways I-5, I-40, I-10, I-80.
- + Centrally located to ports of Oakland, Long Beach and Los Angeles.

### Highlights

- + Contiguous to Avenue 120, and Road 120, and adjacent to CA State Highway 99, Tulare County CA.
- + Available Land (+/-) 150 acres consisting of 4 parcels 30-40 acres each.
- + Tulare County approved permits "By Right" with EIR completed under CEQA. Shovel ready.
- + Property included in Tulare County Pixley Community Plan EIR.
- + Potential access to Union Pacific Railroad via recorded rail easement.
- + Freeway overpass with direct on/off ramps to CA State Highway 99.
- + Zoned M-1 for Commercial, Light Industrial.
- + Located in Opportunity & Enterprise Zone.
- + Located equidistance between Oakland and Los Angeles.
- + No County or City municipal "hookup" fees.



POINTS	MILES
CA State Highway 99	1/8 <sup>th</sup>
Bakersfield Meadows Field Airport	54
Fresno Yosemite International Airport	65.6
Port of Oakland	206
Oakland International Airport	229
LAX International Airport	160
Port of Los Angeles	180
Port of Long Beach	167



## PROPERTY PARCELS



- + Four surveyed parcels with separate APN#’s
- + Lot line adjustment possible
- + Utilities serviced by Southern Cal Edison and Cal Gas Co.
- + Property 400 ft. from and parallel to Union Pacific Railroad mainline right of way
- + Potential access to Union Pacific Railroad via recorded rail easement
- + Parcels 1 & 2 borders Tulare County Road 120; Parcels 1 & 4 borders Tulare County Avenue 120 for ingress / egress
- + Neighboring industrial and commercial businesses ¼ mile radius
- + New deep well installed 2018, output 1000 gal/min. (+/-)

150 (+/-) Acres Total

### PARCELS

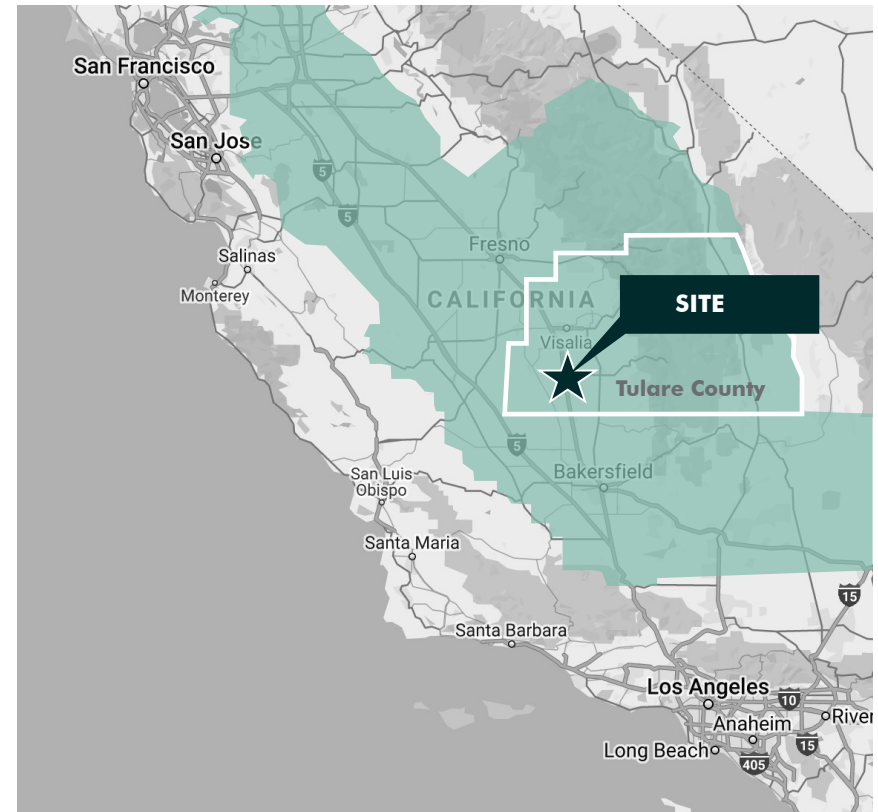
- #1 – 30.99
- #2 – 38.84
- #3 – 40.00
- #4 – 40.00

## ECONOMY OF THE CENTRAL VALLEY

Tulare County, where this property is located is in the heart of central California. Recognized as a major agricultural, industrial, processing, storage, distribution, logistics and manufacturing hub for many national and international brand, Tulare County serves North American and global markets.

Other important facts:

- + Tulare County is home to major businesses such as, Amazon, Walmart, Best Buy, Joann's, Kraft, Nestle, Land 'O Lakes, Sunkist, Foster Farms, US Cold Storage and International Paper.
- + Neighboring businesses include Starbucks, California Dairies, & Calgren Renewable Fuels.
- + Centrally located, Tulare County provides access to over 95 million customers with overnight shipping through UPS, FedEx, GSO, and OnTrac.
- + Key transportation and trucking services are located within a 20-mile radius of property. These include, Knights and Indian River Transport, and travel centers Pilot, Love's, and TA (coming soon).
- + The central valley is one of the least expensive "all-in" building costs in the state. This region also provides comprehensive work force development and training to lower labor costs.



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